

PB# 05-15

Walmart Filling Station

4-1-1.1,5.1,5.2

**TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY**

DATE: 8-18-05

REGULAR ITEMS:

WAL-MART SERVICE STATION (05-15)

Mr. Adam Fishel from APD Engineering appeared before the board for this proposal.

MR. PETRO: Proposed filling station at existing retail plaza. Application proposes renovation to the layout as a gasoline filling station which was approved as part of the Wal-Mart site plan. Received additional approval on 5/12/04. plans included one acre parcel on the corner near Union Avenue and Liner Road with access drive on Liner Road as well as access to internal spine road near the existing credit union parcel. I see you have the wall down.

MR. ARGENIO: Took it down on Tuesday.

MR. SCHLESINGER: Jim, this is part of the initial Wal-Mart plan of which the Town of Newburgh was lead agency, is that correct?

MR. PETRO: They were lead agency on the part, Mark, if I'm not saying it right I think they weren't on the entire site were they?

MR. EDSALL: Application that you received which was 03-03 application before this board was for the total project it was for the Wal-Mart expansion but it also included in both the site plan review and the environmental review the gas station even though the gas station was acknowledged as having to come back with a specific review, they did show it, it was there considered for traffic and the Town of Newburgh was lead agency so from an environmental standpoint if they're doing the same or lesser, it's my recommendation in my comments that SEQRA's already been concluded, you need to do nothing further than acknowledge that it's already done.

MR. PETRO: Okay.

MR. ARGENIO: But the gas station lies totally in the Town of New Windsor.

MR. EDSALL: Correct so because they're now actually nailing down the specific layout they'll need site plan approval as part of your resolution as is noted in my

comments. Your resolution already granted the special permit for the gas station.

MR. PETRO: Why don't you show us your revisions.

MR. FISHEL: Okay, I guess you all know where the gas station is, where it was previously, this is the existing Wal-Mart, New York State Route 300 here and Liner Road here, the previously approved site plan showed a 12 dispenser gas station in this area shown here, sorry if you can't see it from back there but we're proposing a slightly smaller gas station in the same location, the previous access to the other gas station had a curb cut here and curb cut over here. We still have this one here and we now have moved the curb cut to this location which we spoke to Mark last week about that before and he recommended it was a good change. We're proposing--

MR. PETRO: Excuse me one second, the plan I'm looking at is not plan what we're reviewing, is that correct, its way over here?

MR. FISHEL: Right.

MR. EDSALL: That's the blowup up there.

MR. PETRO: Okay, I'm sorry, continue.

MR. FISHEL: We're proposing to construct a six dispenser fueling station which is fewer dispensers than previously approved, the kiosks would be 224 square feet and the previous approved site plan had a convenient store located there, we now do not, the overhead canopy will be roughly 4,700 square feet and fuel capacity would be two tanks here would be approximately 40,000 gallons, we would also include diesel full service.

MR. ARGENIO: I see five dispensers.

MR. SCHLESINGER: On the plan.

MR. ARGENIO: Five dispensing islands.

MR. FISHEL: Right, two on each island.

MR. SCHLESINGER: But you said six.

MR. FISHEL: I mean 10, I'm sorry, the previous had 12.

MR. PETRO: Are we going to have to go to Orange County Planning because it's pre-existing, the new referral requirements?

MR. EDSALL: Well, subject to your interpretation it's my opinion that this already has approval and I believe the Town of Newburgh sent it anyway but the application was before this board before that September change in regulations so I don't believe it's necessary for it to go out in light of the fact that it already has approval and the environmental review is already complete.

MR. MASON: Just have one question, Mark, why did they change the entrance from the side over to the other end there?

MR. EDSALL: I believe when it was made, you can answer, my understanding was it was because it was smaller and they were trying to keep that entrance away from the access road's intersection with Liner Road.

MR. ARGENIO: I think this is a better layout, couldn't be more right, Mark.

MR. EDSALL: The other advantage was--

MR. MASON: Close to where this intersection is going to be over here.

MR. EDSALL: The internal one.

MR. MASON: Only reason I'm bringing that up because at the bank that's just a disaster there in my opinion.

MR. ARGENIO: But do you know what they're doing now, Eric, in the new package they're going to have two exits to the Wal-Mart plaza as opposed to one which they have now and you're right, it is a disaster.

MR. MASON: Aren't we recreating that same situation with the gas station?

MR. ARGENIO: Yeah, you have maybe 20 percent more traffic just in different spots.

MR. EDSALL: I know what you're saying if you have a large volume of traffic coming in that second entrance and someone's trying to exit to go left you have now

got that conflict, it's my understanding.

MR. MASON: Just work out better for sight distance or whatever and just flow, general flow.

MR. EDSALL: They want it so they can get the truck in, the delivery truck in and turn right through without having to weave their way under the canopy.

MR. FISHEL: That's correct.

MR. EDSALL: So that'--

MR. MASON: Okay.

MR. PETRO: SEQRA process is closed out so as we talked about earlier special use permit is still part of the original, this station has been reduced in size so I think all impacts are less than we originally looked at, obviously, the plan will be referred back to the Town of Newburgh so they can look at it one last time upon approval here before I sign the plan, the bond estimate will be submitted for this site plan in accordance with Chapter 137 of the Town Code, we already discussed unless any of the members have a problem that we will not go to Orange County Department of Planning, has been already approved, it's pre-existing and new referral requirements, also no other retail at this site other than gasoline sales. I think we have covered it, I think they have reduced everything that we look at in all aspects, the planning board should determine for the record if a public hearing will be required on the site plan amendment pursuant to its discretionary judgment. Now we don't have to, we're amending the site plan, Mark, but the special use permit which is mandatory, has not been affected by the amendment.

MR. EDSALL: Correct, that was already issued and here's a copy.

MR. PETRO: That's why it's not mandatory.

MR. EDSALL: Correct, if this did not have the special permit, you'd be mandated to have a public hearing.

MR. PETRO: We did have a public hearing for the original special use permit and the site plan.

MR. EDSALL: Correct.

MR. PETRO: So being this is lessening everything that we originally looked at I don't see to have another public hearing for something less than we already looked at would be necessary. That's only my opinion. How many pumps did you originally have?

MR. FISHEL: Six locations, total of 12 total.

MR. PETRO: Now, how many dispensers?

MR. FISHEL: We have 10.

MR. PETRO: So you have lessened it.

MR. FISHEL: Right.

MR. SCHLESINGER: Also a convenient store.

MR. FISHEL: Yes and now it's not.

MR. PETRO: Motion that we waive the public hearing.

MR. ARGENIO: Make a motion we waive the public hearing for Wal-Mart site plan amendment.

MR. SCHLESINGER: Second it.

MR. PETRO: This is, we have already had the public hearing so we're not just waiving a public hearing to say we're not having a planning board public hearing, we're waiving it for the second time on a lesser use on the exact same application. Motion has been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment for the Wal-Mart site plan amendment on Union Avenue. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. GALLAGHER	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Again, the planning board should require that a bond estimate, we went over that, I think we

have gone over everything. We fire already approved. Any of the board members have any other comments? If not, I'll entertain a motion for final approval with the recommendation that the Town of Newburgh gets to look at it again before I sign it.

MR. ARGENIO: I'm going to abstain from the final vote inasmuch as Argenio Brothers is currently engaged in work for the general contractor on this site.

MR. PETRO: Okay. Motion for final.

MR. SCHLESINGER: I make a motion for the final approval of the Wal-Mart site plan amendment.

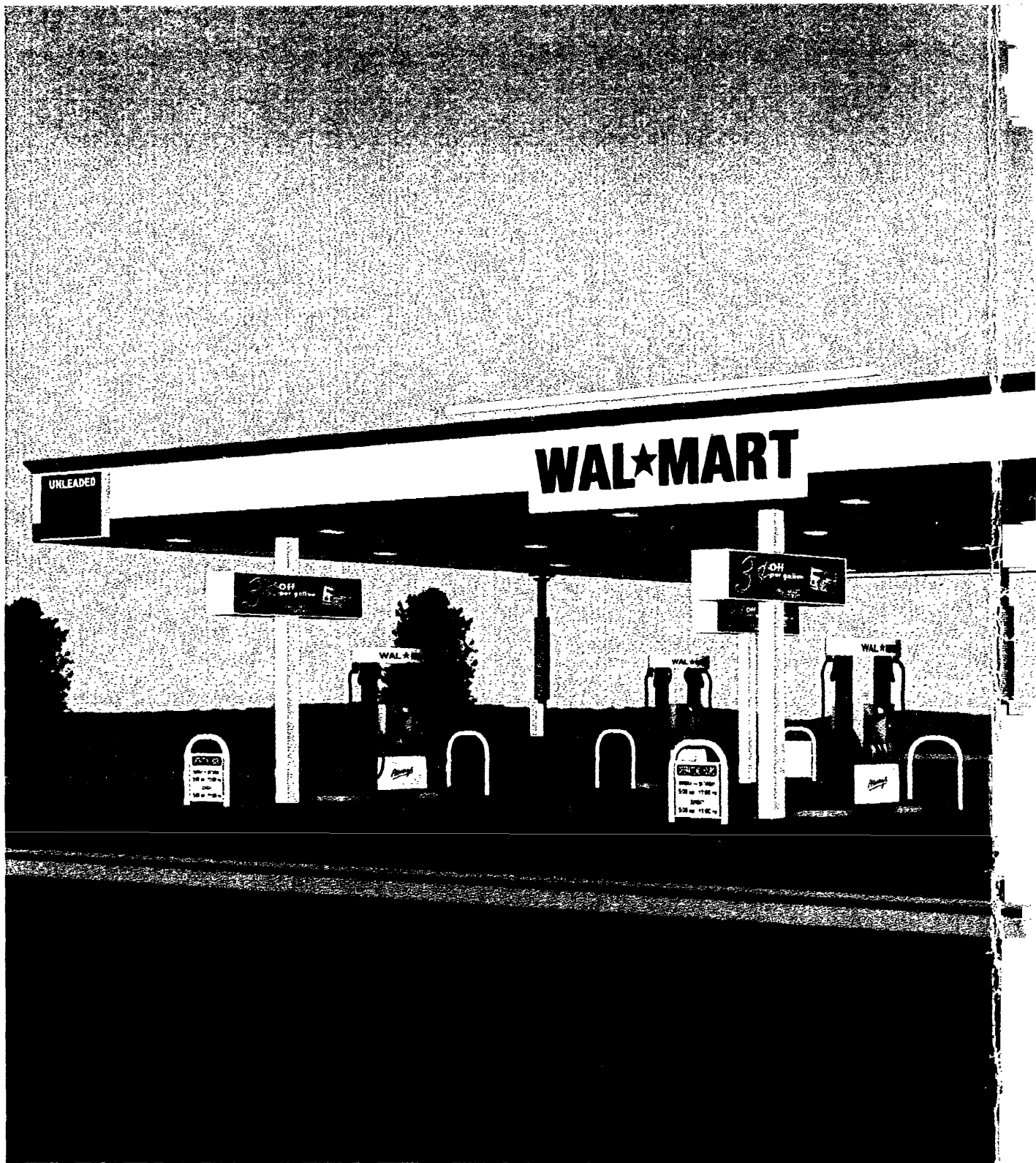
MR. MASON: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval for the Wal-Mart site plan amendment on Union Avenue. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. GALLAGHER	AYE
MR. ARGENIO	ABSTAIN
MR. PETRO	AYE

MR. PETRO: Thank you.



HARRISON FRENCH
& ASSOCIATES, LTD.
Architects Engineers Planners Landscape Interiors

WAL★MART



100



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: WALMART SITE PLAN AMENDMENT
(GASOLINE FILLING STATION REVISIONS)
PROJECT LOCATION: UNION AVENUE
SECTION 4 – BLOCK 1 – LOT 1.1, 5.1 & 5.2
PROJECT NUMBER: 05-15
DATE: 25 MAY 2005
DESCRIPTION: THE APPLICATION PROPOSES REVISIONS TO THE LAYOUT OF
THE GASOLINE FILLING STATION WHICH WAS APPROVED AS
PART OF THE OVERALL WALMART SITE PLAN.

1. The Walmart Site Plan (NWPB App. 03-33) received conditional approval on 5-12-04. The plans included a 1.06 Acre parcel at the southerly corner near Union Avenue and Liner Road, with an access to the access drive to Liner Road, as well as an access to the internal spine road near the existing Credit Union parcel.

This amendment application decreases the service building size (changing it to a Kiosk) and slightly reduces the pump count on the site. In addition, the access drive layout is being revised.

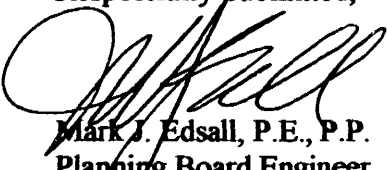
2. From a SEQRA standpoint, the retail gasoline component of the site was considered as part of the parent application. Since this application is consistent with that decision, and in fact *reduces* the impacts, it is my position that no further SEQRA action is necessary.
3. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan Amendment, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.
4. With regard to the Special Permit for this use, the Board issued the Permit as part of the resolution adopted on 5-12-04. I believe no further action is needed in this regard.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

5. There is no other retail at this site other than the gasoline sales. As such, it is my recommendation that no additional parking spaces are needed, other than the filling parking which is at the pump.
6. It is my understanding that, since this application pre-existed the new referral requirements of the Orange County Department of Planning (referrals per GML 239), the Board has determined that I need not refer this application to the County for action. If the Board determines otherwise, please advise.
7. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Chapter 137 of the Town Code.
8. Any approval considered should be subject to a "write off" from the Town of Newburgh Planning Board, who jointly approved the original overall site plan.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW05-15-25May05.doc

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/23/2005

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd'
A [Disap, Appr

FOR PROJECT NUMBER: 5-15

NAME: WAL-MART FILLING STATION PA2005 285

APPLICANT: APD ENGINEERING, PLLC

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
08/18/2005	PLANS STAMPED	APPROVED
05/25/2005	P.B. APPEARANCE	WVE PH APPROVED
	. PUBLIC HEARING WAS HELD ON THE OVERALL PLAN FOR THE	
	. EXPANSION 03-33 & 03-34	
05/18/2005	WORK SHOP	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/23/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 5-15

NAME: WAL-MART FILLING STATION PA2005 285

APPLICANT: APD ENGINEERING, PLLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/23/2005	REC. CK #08788	PAID		750.00	
05/25/2005	P.B. MINUTES	CHG	33.00		
05/25/2005	P.B. ATTY.	CHG	35.00		
08/08/2005	P.B. ENGINEER	CHG	128.70		
08/18/2005	RET. TO APPLICANT	CHG	553.30		
		TOTAL:	750.00	750.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/23/2005

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 5-15

NAME: WAL-MART FILLING STATION PA2005 285

APPLICANT: APD ENGINEERING, PLLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/08/2005	APPROVAL FEE	CHG	125.00		
08/18/2005	REC. CK. #9086	PAID		125.00	
			-----	-----	-----
		TOTAL:	125.00	125.00	0.00



PROJECT: Wal-Mart Filling Station P.B. # _____

NEGATIVE DEC:

M)____S)____VOTE: A____N____
CARRIED: Y____N____

PUBLIC HEARING: **WAIVED:** ✓ **CLOSED:**

M) A S) S VOTE: A 5 N 0 SCHEDULE P.H.: Y N ✓

REFER TO Z.B.A.: M)_____ S)_____ VOTE: A_____ N_____

RETURN TO WORK SHOP: Y___N___

1 abstain (Argenio)

M) S S) M VOTE: A 4 N 0 APPROVED: 5-25-05

NEED NEW PLANS: Y_____N_____

CONDITIONS – NOTES:

Does not need to go to O.C. Planning - Was covered on original S.P.
Refer to J. Newburgh



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

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Milford, Pennsylvania 18337

(570) 296-2765

e-mail: mhepa@mhepc.com

Writer's E-mail Address:

mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

100-3

TOWN/VILLAGE OF: New Windsor

P/B APP. NO.: _____

WORK SESSION DATE: 5-18-05

PROJECT: NEW X OLD _____

REAPPEARANCE AT W/S REQUESTED: NO

RESUB. REQ'D: Full App

PROJECT NAME: Walmart Gas Station - S/P

REPRESENTATIVES PRESENT: APD Engineering - Tom Lucey + Adam Fisher

MUNICIPAL REPS PRESENT:

BLDG INSP.
ENGINEER
P/B CHMN

X
X part

FIRE INSP.
PLANNER
OTHER

ITEMS DISCUSSED:

STND CHECKLIST:

PROJECT
TYPE

DRAINAGE

DUMPSTER

SCREENING

LIGHTING

(Streetsights)

LANDSCAPING

BLACKTOP

ROADWAYS

APPROVAL BOX

PROJECT STATUS:

ZBA Referral:

X Y _____ N

Ready For Meeting

X Y _____ N

Recommended Mtg Date

argp

- Review downsized gas station
- Q - was sp for gas station already on app'd sp - if so, this is amendment
- SEERs already done
- DDT already reviewed
- if already app'd OLO for date relocation
- Egoth for w/s rvc.



June 23, 2005

Adam M. Fischel, E.I.T., Project Engineer
APD Engineering
3445 Winton Place-Suite 208
Rochester, New York 14623

**RE: Wal-Mart gasoline station site
Towns of New Windsor and Newburgh, New York**

Dear Mr. Fischel:

Our office has reviewed the latest revised plans dated April 25, 2005 and May 19, 2005 for the Wal-Mart Filling Station on the Wal-Mart site in New Windsor. The plans are in substantial conformance with the original plans for which a Negative Declaration was issued. The plans appear to have been revised to relocate a driveway, show no convenience store and fewer gas pump islands.

Since the plans have less impact on the environment than prior plans and are in basic conformance we have no objection to their approval.

Sincerely,

Edwin J. Garling, AICP
EJG:mm

cc: John P. Ewasutyn, Town of Newburgh Planning Board Chairman
James Petro, Town of New Windsor Planning Board Chairman ✓

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#775-2005

08/18/2005

A P D Engineering *P.B. #05-15*

Received \$ 125.00 for Planning Board Fees, on 08/18/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/18/2005

PAGE: 1

LISTING OF PLANNING BOARD **FEEs**
APPROVAL

FOR PROJECT NUMBER: 5-15

NAME: WAL-MART FILLING STATION PA2005 285

APPLICANT: APD ENGINEERING, PLLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/08/2005	APPROVAL FEE	CHG	125.00		
08/18/2005	REC. CK. #9086	PAID		125.00	
		TOTAL:	125.00	125.00	0.00

AS OF: 08/12/2005

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 5- 15

FOR WORK DONE PRIOR TO: 08/12/2005

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT	DESCRIPTION-----	RATE	HRS.	TIME	EXP.	DOLLARS-----	
											BILLED	BALANCE
S-15	276714	05/18/05	TIME	MJE	WS	WALMART FUEL S/P	99.00	0.40	39.60			
S-15	277962	05/24/05	TIME	MJE	MC	WALMAT S/P AM (FUEL)	99.00	0.80	79.20			
S-15	277563	05/25/05	TIME	MJE	MM	Walmart S/P AM APPD	99.00	0.10	9.90			
									128.70			
5-15	281818	06/22/05				BILL 05-833						-128.70
												-128.70
						TASK TOTAL			128.70			-128.70
										0.00		0.00
						GRAND TOTAL			128.70			-128.70
										0.00		0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/24/2005

PAGE: 1


LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 5-15

NAME: WAL-MART FILLING STATION PA2005 285

APPLICANT: APD ENGINEERING, PLLC

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/23/2005	REC. CK #08788	PAID		750.00	
			-----	-----	-----
		TOTAL:	0.00	750.00	-750.00


5/20/05

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#481-2005

05/25/2005

A P D Engineering *P.B. # 05-15*

Received \$ 125.00 for Planning Board Fees, on 05/25/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

AGENT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

Wal-Mart Real Estate Business Trust, deposes and says that he resides
(OWNER)

at 2001 SE 10th STREET, BENTONVILLE in the County of BENTON.
(OWNER'S ADDRESS)

and State of Arkansas and that he is the owner of property tax map
(Sec. 4 Block 1 Lot 1.1) 5-1 + 5-2
designation number (Sec. Block Lot) which is the premises described in
the foregoing application and that he designates:

(Agent Name & Address)

3445 WENTON PLACE

APD ENGINEERING, PLLC SUITE 208 ROCHESTER NY 14623
(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICHEVER IS SOONER.

SWORN BEFORE ME THIS:

Owner's Signature (MUST BE NOTARIZED)

19th DAY OF May 2005

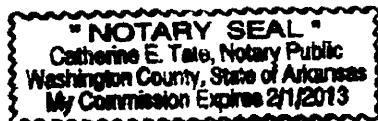
Agent's Signature (If Applicable)

Cathleen E. Jette
NOTARY PUBLIC

Professional Representative's Signature

**** PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**

THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER





APD Engineering

3445 Winton Place - Suite 208

Rochester, NY 14623

585-273-0273

Fax: 585-273-0276

Website: www.apd.com

June 1, 2005

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Attention: John Ewasutyn, Planning Board Chairman

Subject: Wal-Mart Fueling Station, Newburgh, NY, Site Plan Review.

Dear Mr. Ewasutyn,

On May 25th, 2005 the Town of New Windsor granted conditional approval of the amended site plan for the proposed Wal-Mart Filling Station. As a condition of approval, the Town of New Windsor requested that the Town of Newburgh review the revised site plans prior to receiving their final stamp of approval.

We respectfully request that you review the enclosed site plans. We anticipate that no additional site plan approvals are necessary from the Town of Newburgh. Please contact us if you have any questions or require additional information regarding this matter.

Thank you for your timely review of this matter.

Sincerely,

Adam M. Fishel, E.I.T.
Project Engineer

cc: Tom Thill, Core States Engineering
James Petro, Town of New Windsor



APD Engineering

3445 Winton Place - Suite 208

Rochester, NY 14623

585-273-0273

Fax: 585-273-0276

Website: www.apd.com

June 1, 2005

New York State Department of Transportation
112 Dickson Street
Newburgh, NY 12550-5324

Attn: Siby Mary Zachariah-Carbone

RE: **Propose Wal-Mart Filling Station**

05-0167

Dear Ms. Zachariah-Carbone:

On behalf of our client, Wal-Mart Stores, Inc. we are please to submit the following plans for the Wal-Mart Filling Station proposed near the intersection of Liner Road and NYS Rt. 300 in the Town of New Windsor. As you are aware, the current traffic report for the proposed Wal-Mart Supercenter Expansion considered future traffic demands of a twelve position filling station with a 700 SF convenience store to be constructed on a Wal-Mart lease parcel.

We have received approval from the Town of New Windsor on May 25th for an amended filling station site plan. The revised layout is to be constructed on the same Wal-Mart Lease Lot and will consist of a ten position filling station with a 224 SF attendant kiosk. In addition, the revised site plan has relocated the southern access into the filling station to be further from the intersection of Liner Road and the Wal-Mart access drive.

We feel this new site layout will have lower traffic demands and will improve access in and around the filling station than as previously approved. We respectfully request that you review the enclosed information and confirm that no additional traffic concerns should be addressed. Thank you.

Should you have any questions or require any additional information please do not hesitate to contact me at (585) 273-0273 ex 470.

Sincerely,

Adam M. Fishel, E.I.T.
Project Engineer

cc: Tom Thill, Corestates Engineering
Mark Edsall, Engineer for the Town of New Windsor



APD Engineering

3445 Winton Place - Suite 208

Rochester, NY 14623

585-273-0273

Fax: 585-273-0276

Website: www.apd.com

May 19, 2005

Town of New Windsor
New Windsor Town Hall
555 Union Avenue
New Windsor, NY 12553
Attn: Myra Mason

RE: Amended Site Plan Application for Wal-Mart Gasoline Filling Station.

Dear Myra:

On behalf of our client Wal-Mart Stores, Inc., we are pleased to submit the following information for the Wal-Mart Gasoline Filling Station. As you are aware, site plan approval for the proposed Wal-Mart Supercenter and gasoline station was obtained in May 2004. Since then, the site layout for the proposed gasoline filling station has been revised. We are submitting information to initiate an amendment to the approved site plan application. At that time a special use permit for the future gasoline station was also granted.

The amended site plan includes a ten position gasoline filling station with a +/- 224 SF attendant kiosk, a +/- 4,700 SF canopy, and storage tanks with fuel capacity of 40,000 gallons. The gasoline filling station is within the same lot, has fewer dispensers, and a smaller building area.

In order to form a complete package, we have enclosed the following items for your review:

1. Site Plan Application
2. Agent/Proxy Statement
3. Completed Site Plan Checklist
4. Site Development Plans (8 sets)
5. Color Building Renderings (8 copies)
6. Building Elevations (8 copies)
7. Site Plan Application Fee - \$125.00
8. Escrow - \$750.00

We respectfully request that we be scheduled for the May 25th, 2005 Planning Board Meeting to discuss the amended approvals and any concerns that the board may have. If you have any questions or need additional information feel free to contact us. Thank you.

Sincerely,

Adam M. Fishel, E.I.T.
Project Engineer

cc: Tom Thill, Core States Engineering

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

Telephone: (845) 563-4615

Fax: (845) 563-4695

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan ☒ Special Permit _____

Tax Map Designation: Sec. 4 Block 1 Lot 1.1, 5.1, & 5.2

BUILDING DEPARTMENT PERMIT NUMBER PA - _____

1. Name of Project WAL-MART FILLING STATION
2. Owner of Record WAL-MART STORES, INC. Phone (479) 204-0416
Address: 2001 SE 13th ST BENTONVILLE AR 72716
(Street Name & Number) (Post Office) (State) (Zip)
3. Name of Applicant APD ENGINEERING, PLLC Phone (585) 273-0273
Address: 3445 WINTON PL. SUITE 208 ROCHESTER NY 14623
(Street Name & Number) (Post Office) (State) (Zip)
4. Person Preparing Plan THOMAS P. LUCEY, P.E. Phone (585) 273-0273
Address: 3445 WINTON PL. SUITE 208 ROCHESTER NY 14623
(Street Name & Number) (Post Office) (State) (Zip)
5. Attorney NA Phone NA
Address NA
(Street Name & Number) (Post Office) (State) (Zip)
6. Person to be notified to appear at Planning Board meeting:
THOMAS P. LUCEY (585) 273-0273 x 450 (585) 273-0276
(Name) (Phone) (fax)
7. Project Location: On the WEST side of NYS Rt 300
(Direction) (Street)
8. Project Data: Acreage 1.07 Zone C School Dist. _____

9. Is this property within Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached Agricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) _____

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no _____

12. Has a Special Permit previously been granted for this property? yes _____ no _____

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

23th DAY OF May 2005

1
(OWNER'S SIGNATURE)

Thomas P. Lucy
(AGENT'S SIGNATURE)

Mark E. Clement
NOTARY PUBLIC

THOMAS P. LUCY
Please Print Agent's Name as Signed

MARK E. CLEMENT
Notary Public, State of New York
No. 001491340
Commission Expires Nov. 10, 2007

TOWN USE ONLY:

DATE APPLICATION RECEIVED

APPLICATION NUMBER

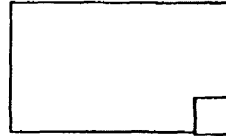
TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

1. X Site Plan Title
2. X Provide 4" wide X 2" high box **(IN THE LOWEST RIGHT CORNER OF THE PLAN)** for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



3. X Applicant's Name(s)
4. X Applicant's Address
5. X Site Plan Preparer's Name
6. X Site Plan Preparer's Address
7. X Drawing Date
8. X Revision Dates
9. X Area Map Inset and Site Designation
10. X Properties within 500' of site
11. X Property Owners (Item #10)
12. X Plot Plan
13. X Scale (1" = 50' or lesser)
14. X Metes and Bounds
15. X Zoning Designation
16. X North Arrow
17. X Abutting Property Owners
18. X Existing Building Locations
19. X Existing Paved Areas
20. X Existing Vegetation
21. X Existing Access & Egress

PROPOSED IMPROVEMENTS

22.	<u>X</u>	Landscaping
23.	<u>X</u>	Exterior Lighting
24.	<u>NA</u>	Screening
25.	<u>X</u>	Access & Egress
26.	<u>X</u>	Parking Areas
27.	<u>NA</u>	Loading Areas
28.	<u>X</u>	Paving Details (Items 25 - 27)
29.	<u>X</u>	Curbing Locations
30.	<u>X</u>	Curbing through section
31.	<u>X</u>	Catch Basin Locations
32.	<u>X</u>	Catch Basin Through Section
33.	<u>X</u>	Storm Drainage
34.	<u>NA</u>	Refuse Storage
35.	<u>X</u>	Other Outdoor Storage
36.	<u>X</u>	Water Supply
37.	<u>X</u>	Sanitary Disposal System
38.	<u>NA</u>	Fire Hydrants
39.	<u>X</u>	Building Locations
40.	<u>X</u>	Building Setbacks
41.	<u>X</u>	Front Building Elevations
42.	<u>NA</u>	Divisions of Occupancy
43.	<u>NA</u>	Sign Details
44.	<u>X</u>	Bulk Table Inset
45.	<u>X</u>	Property Area (Nearest 100 sq. ft.)
46.	<u>X</u>	Building Coverage (sq. ft.)
47.	<u>X</u>	Building Coverage (% of total area)
48.	<u>X</u>	Pavement Coverage (sq. ft.)
49.	<u>X</u>	Pavement Coverage (% of total area)
50.	<u>X</u>	Open Space (sq. ft.)
51.	<u>X</u>	Open Space (% of total area)
52.	<u>NA</u>	No. of parking spaces proposed
53.	<u>NA</u>	No. of parking spaces required

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. _____ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
55. _____ A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

A Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: Thomas P. Long 5/19/05
Licensed Professional Date

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

PLEASE NOTE:

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.

WAL-MART FUELING STATION

Wal-Mart Store #2104
1201 UNION AVENUE
TOWN OF NEW WINDSOR
Orange County, New York

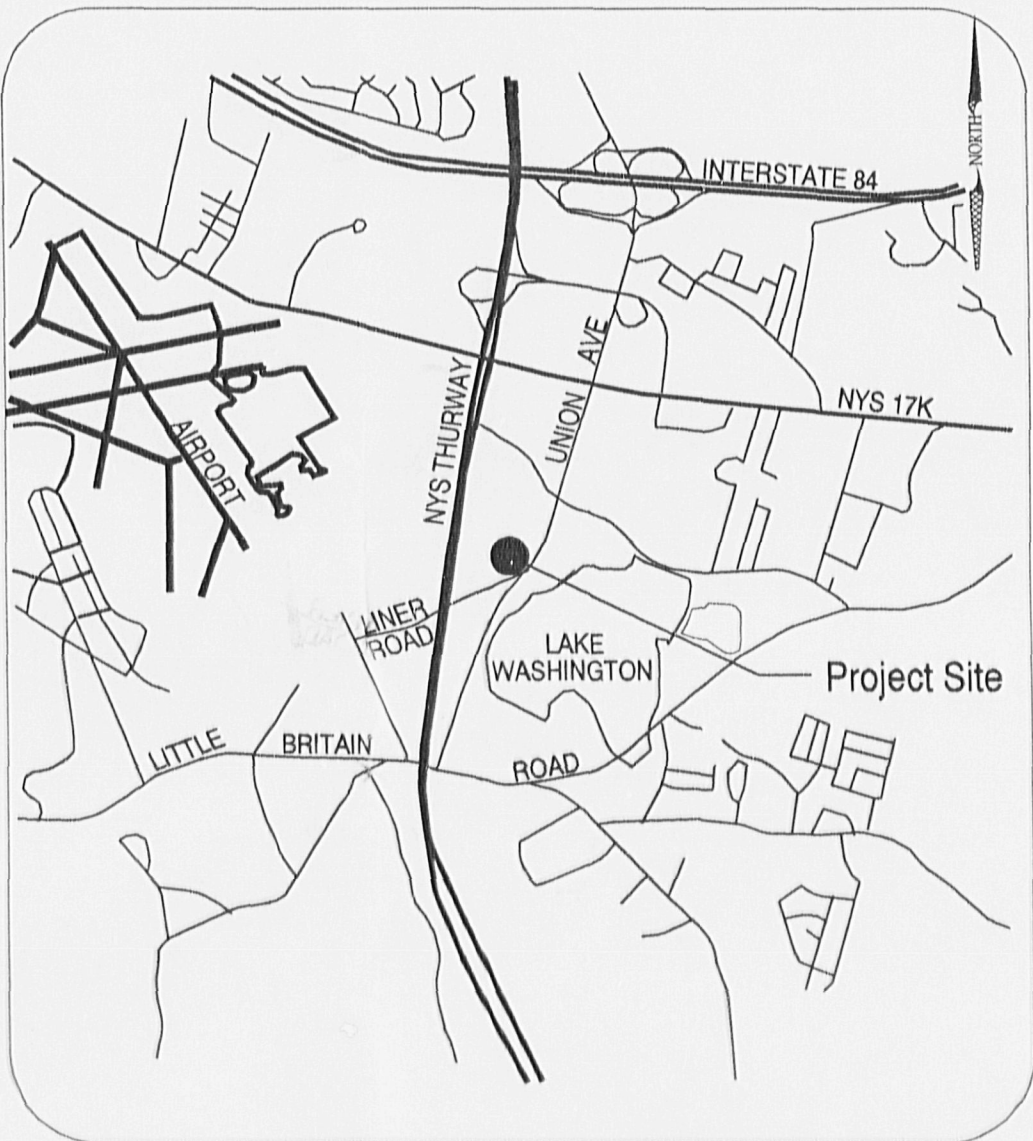
UTILITY & GOVERNING AGENCIES CONTACT LIST:

UTILITY	COMPANY	ADDRESS & PHONE
STORM	TOWN OF NEW WINDSOR	MARK EDSALL 33 AIRPORT CENTER DRIVE, SUITE 202 NEW WINDSOR, NY 12553 845-567-3100
SANITARY	TOWN OF NEW WINDSOR	JOHN EGITTO P.O. BOX 4653 NEW WINDSOR, NY 12550 845-561-2550
ELECTRIC	CENTRAL HUDSON	PAUL DANIELS 284 SOUTH AVENUE POUGHKEEPSIE, NY 12601 845-563-4563
GAS	CENTRAL HUDSON	PAUL DANIELS 284 SOUTH AVENUE POUGHKEEPSIE, NY 12601 845-563-4563
HIGHWAY (TOWN)	TOWN OF NEW WINDSOR HIGHWAY DEPARTMENT	HENRY KROLL 610 LITTLE BRITAIN ROAD NEW WINDSOR, NY 12553 845-564-6660
HIGHWAY (STATE)	NEW YORK STATE DEPARTMENT OF TRANSPORTATION	MICHAEL ANDERSON REGIONAL CONSTRUCTION ENGINEER ELEANOR ROOSEVELT STATE OFFICE BUILDING 4 BURNETT BOULEVARD POUGHKEEPSIE, NY 12603 845-575-6000
BUILDING INSPECTOR	TOWN OF NEW WINDSOR	MICHAEL BABCOCK 555 UNION AVENUE NEW WINDSOR, NY 12553 845-563-4618
TELEPHONE	VERIZON	PATRICK CASE 20 S. HAMILTON STREET 4TH FLOOR POUGHKEEPSIE, NY 12601 845-473-9791
DOH	ORANGE COUNTY	GREG MOORE 124 MAIN STREET GOSHEN, NY 10924-2199 (845)291-2331
NYS DEC - PURE WATER	NYS DEC REGION 3	NATILIE BROWN 200 WHITE PLAINS AVENUE 5TH FLOOR TARRYTOWN, NY 10591-5805 914-332-1835 X354
NYS DEC - WATER QUALITY	NYS DEC REGION 3	PAT FARICANE 200 WHITE PLAINS AVENUE 5TH FLOOR TARRYTOWN, NY 10591-5805 914-332-1835 X359
CABLE	TIME WARNER	JOE DERONA 15 INDUSTRIAL DRIVE MIDDLETOWN, NY 10940 845-563-3851 X3809
ADJOINER	HUDSON VALLEY CREDIT UNION	DERRIK R. WYNKOOP 159 BARNEGAT ROAD POUGHKEEPSIE, NY 12601-5454 800-468-3011 X 3006
WATER	TOWN OF NEWBURGH WATER DISTRICT	BILL PUCHALSKI 311 ROUTE 32 NEWBURGH, NY 12550 845-564-7813

SITE DEVELOPMENT PLANS

SHEET INDEX:

1. COVER SHEET
2. TOPOGRAPHIC AND BOUNDARY SURVEY (SHEET 1 OF 5)
3. TOPOGRAPHIC AND BOUNDARY SURVEY (SHEET 2 OF 5)
4. TOPOGRAPHIC AND BOUNDARY SURVEY (SHEET 3 OF 5)
5. BOUNDARY SURVEY (SHEET 4 OF 5)
6. TOPOGRAPHIC AND BOUNDARY SURVEY (SHEET 5 OF 5)
7. G 1, EXISTING CONDITIONS PLAN
8. G 2, OVERALL SITE PLAN
9. G 3, SITE PLAN
10. G 4, GRADING PLAN
11. G 5, UTILITY PLAN
12. G 6, LANDSCAPING PLAN
13. D 1, DETAIL SHEET



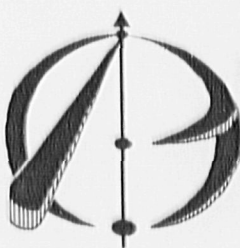
SITE LOCATION MAP

NOT TO SCALE

OWNER AND
PREPARED FOR:

WAL-MART STORES, INC.
SAM M. WALTON DEVELOPMENT COMPLEX
2001 SE 10TH Street
Bentonville, Arkansas 72716-0550
Phone: (479) 204-0218
Fax: (479) 273-8378

ENGINEER:



APD ENGINEERING, PLLC
3445 Winton Place, Suite 208
Rochester, New York 14623
Phone: (585) 273-0273
Fax: (585) 273-0276

NOTES:

1. THE SITEWORK FOR THE WAL-MART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART STANDARD SITEWORK SPECIFICATIONS."
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

NOTICE TO BIDDERS:

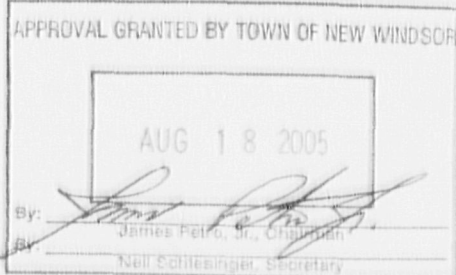
ALL QUESTIONS REGARDING THE PREPARATION OF THE CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT (479) 204-1500. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE CONTRACTOR. THE CONSULTING ARCHITECT AND/OR COUNSELING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.

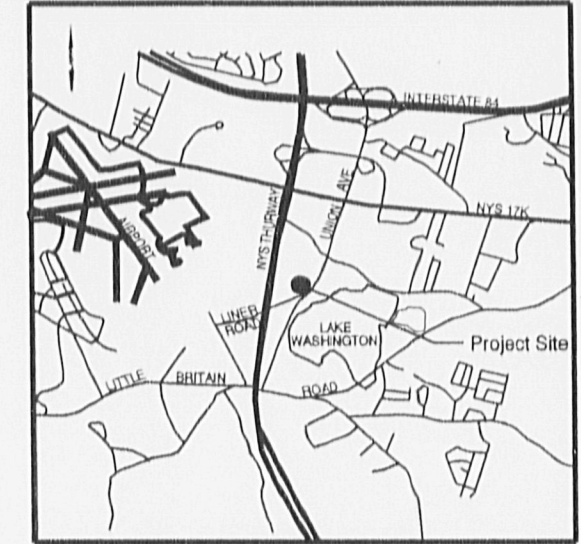
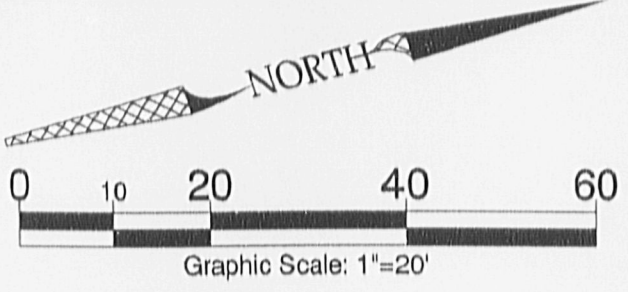
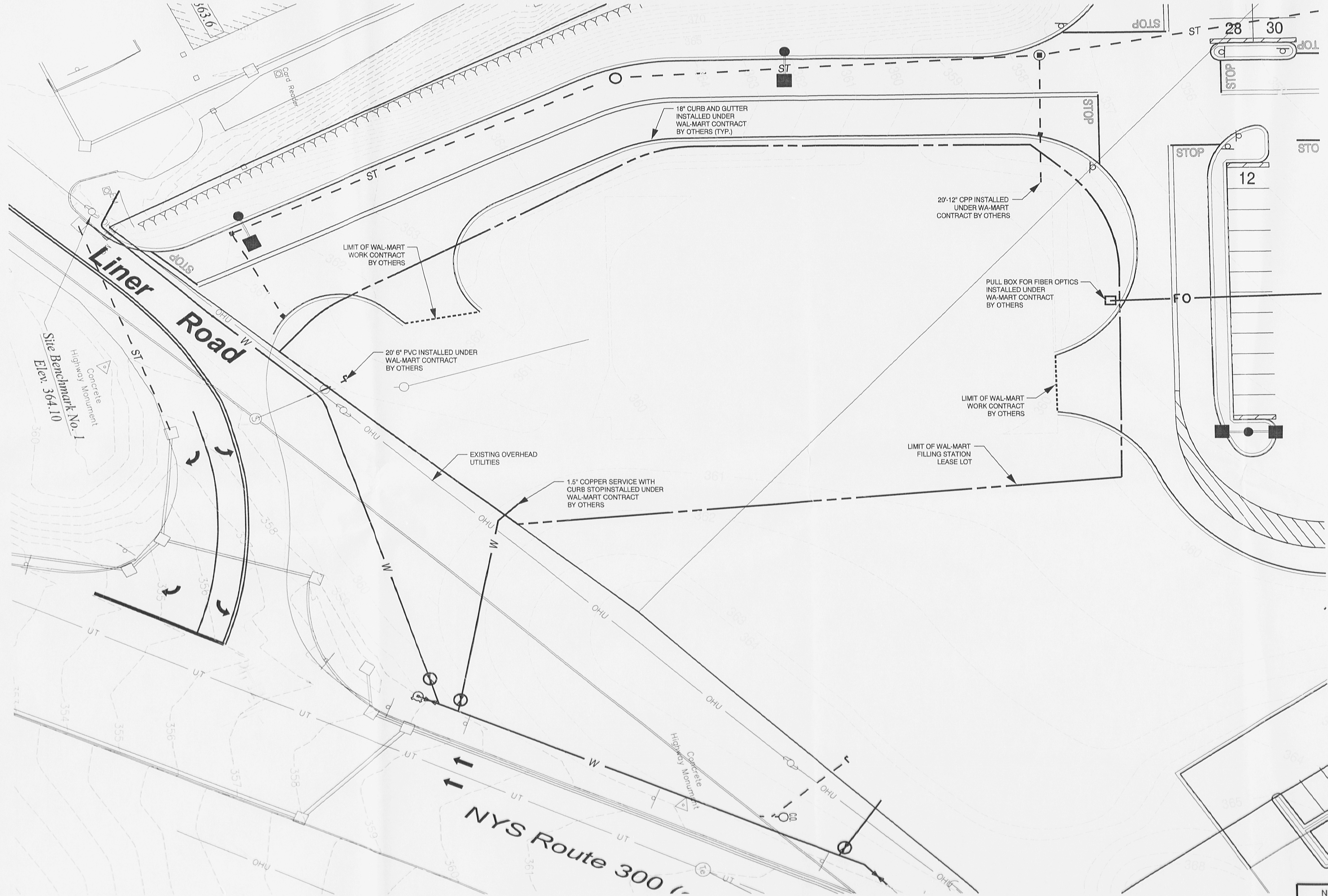
SAFETY NOTICE TO THE CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

FLOOD INFORMATION

THE SURVEYED PARCEL AS SHOWN HEREON LIES IN ZONE "C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FIRM MAPS FOR THE TOWN OF NEWBURGH, BEARING COMMUNITY PANEL NO. 360627-0020-A AND AN EFFECTIVE DATE OF JUNE 5, 1985 AND FOR THE TOWN OF NEW WINDSOR, BEARING COMMUNITY PANEL NO. 360628-0010-B AND AN EFFECTIVE DATE OF DECEMBER 15, 1978.





Location Sketch
N.T.S.

Revisions:		Date:
1	REVISED PER 90% SUBMITTAL	6/15/05
2	REVISED PER BUILDING PERMIT SUBMITTAL	7/14/05
3		
4		
5		
6		
7		
8		
9		



Seal
PROJECT MANAGER

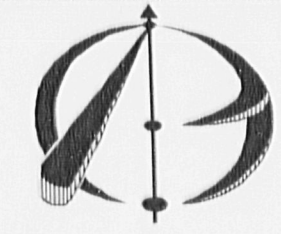
Seal
DATE

PROJECT ENGINEER / ARCHITECT
DATE

PROJECT DESIGNER
DATE

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APD Engineering
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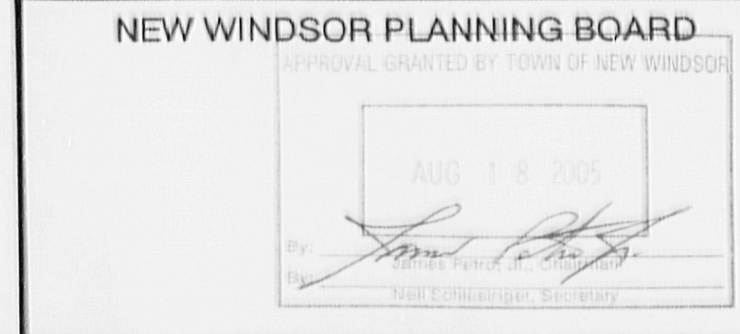
APD Engineering
3445 Winton Place - Suite 208
Rochester, NY 14623
585.273.0273
585.273.0276 fax
www.apd.com

WAL-MART FUELING STATION
TOWN OF NEW WINDSOR
1201 UNION AVENUE (NYS ROUTE 300)
ORANGE COUNTY, NY

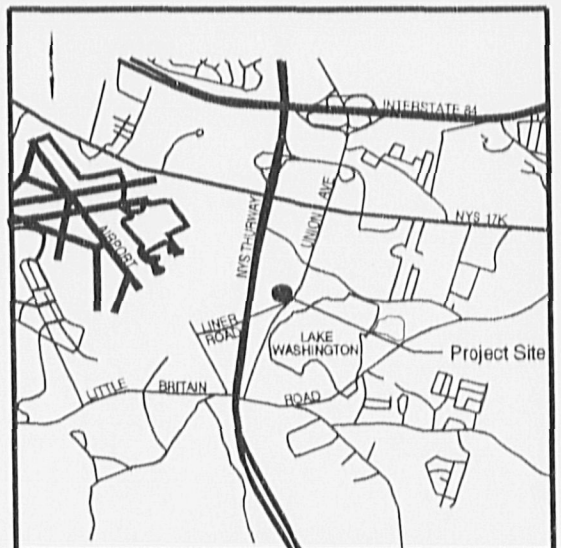
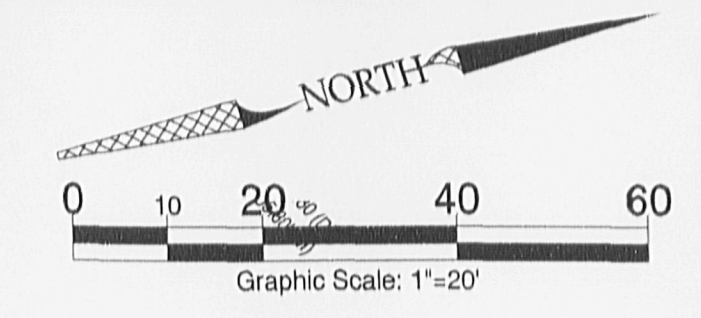
Project Name & Location:

EXISTING CONDITIONS

Drawing Name:		Project No.
Date: 4/05/05		05-0167
Type:		
Drawn By: AMF		G 1
Scale: 1"=20'		Drawing No.



5 04'14" E
201.44' (M)
296.31' (D)
S 00'47.45" W
52.37' (D)
52.37' (D)



Location Sketch
N.T.S.

PROPOSED
WAL-MART EXPANSION
EXISTING WAL-MART = 125,715 +/- SF
PROPOSED EXPANSION = 82,993 +/- SF
PROPOSED TOTAL = 208,708 +/- SF
UNDER CONSTRUCTION

Zoned Commercial (C)-(Town of New Windsor)

FIBER OPTIC CONDUIT UNDER
WAL-MART CONTRACT BY OTHERS

PROPOSED WAL-MART
FUELING STATION

AUTOTURN TANKER
TRUCK ROUTING

NYS Route 300 (a.k.a. Union Avenue)
Width Varies

NEW WINDSOR PLANNING BOARD
APPROVAL GRANTED BY TOWN OF NEW WINDSOR
AUG 15 2005
[Signature]
TOWN ENGINEER, TOWN OF NEW WINDSOR

Revisions:		Date:
1	REVISED PER 90% SUBMITTAL	6/15/05
2	REVISED PER BUILDING PERMIT SUBMITTAL	7/14/05
3		
4		
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9		



PROJECT MANAGER

DATE

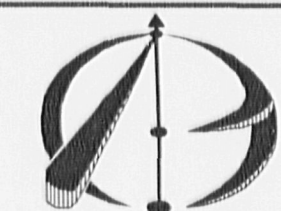
PROJECT ENGINEER / ARCHITECT

DATE

PROJECT DESIGNER

DATE

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APD Engineering
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her seal and to add the notation "Altered By" followed by his or her
signature and the specific description of the alteration or revision.
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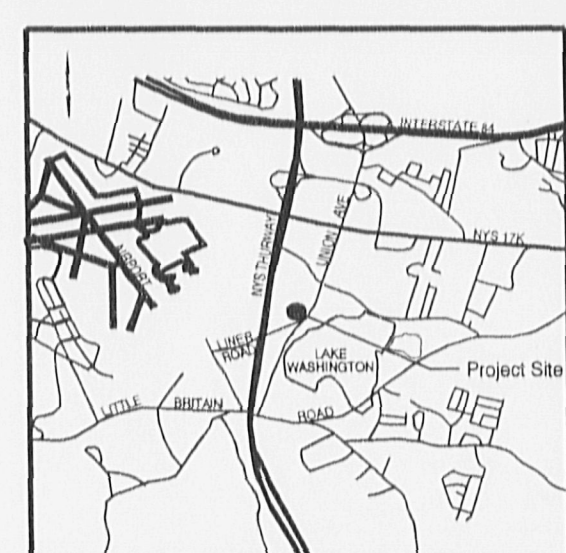
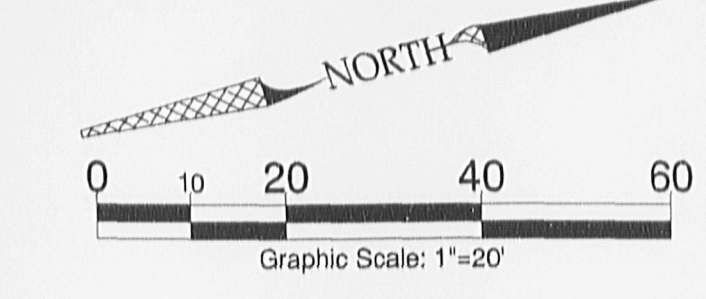
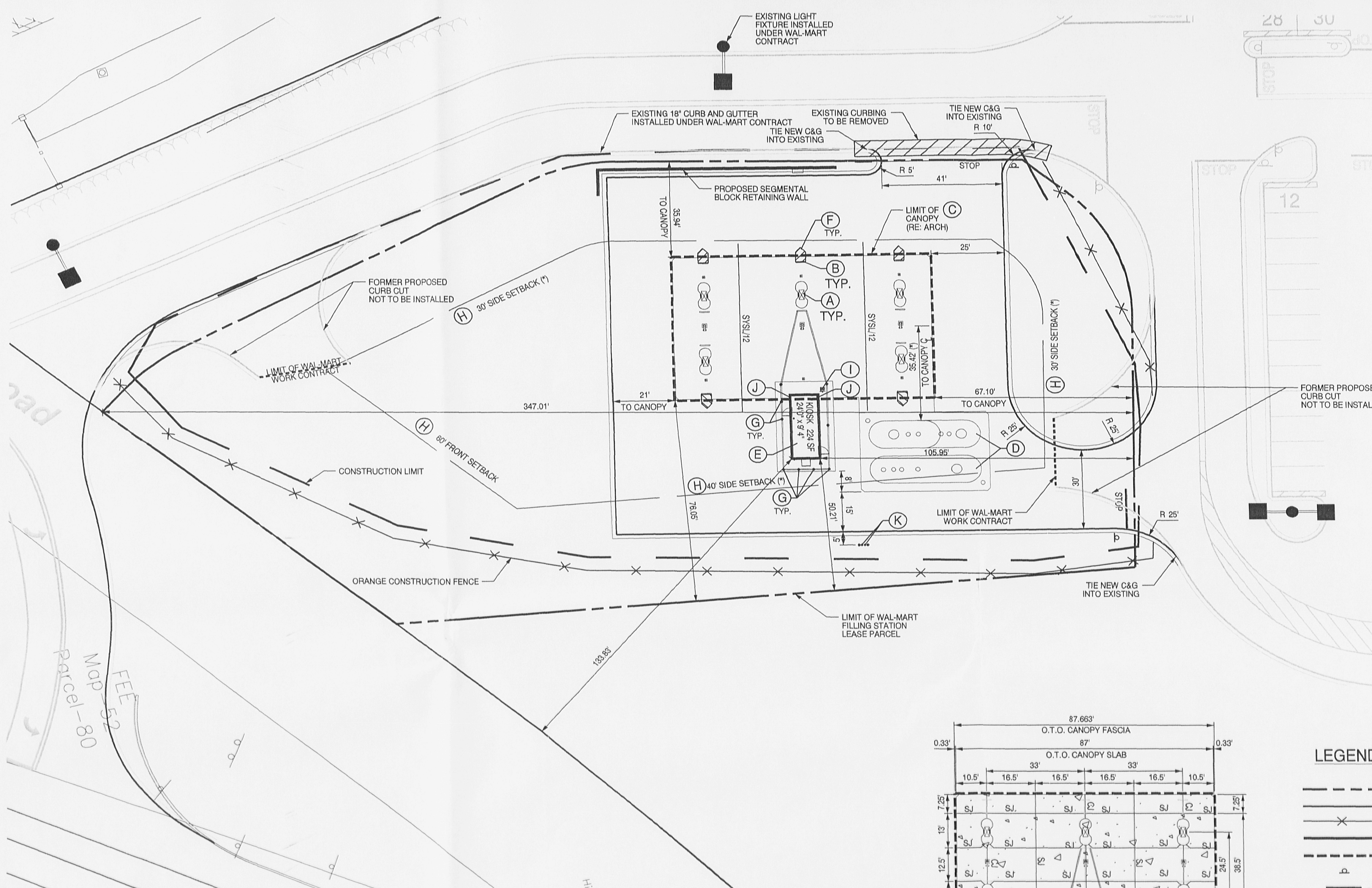
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WAL-MART
FUELING STATION
TOWN OF NEW WINDSOR
1201 UNION AVENUE (NYS ROUTE 300)
ORANGE COUNTY, NY

Project Name & Location:

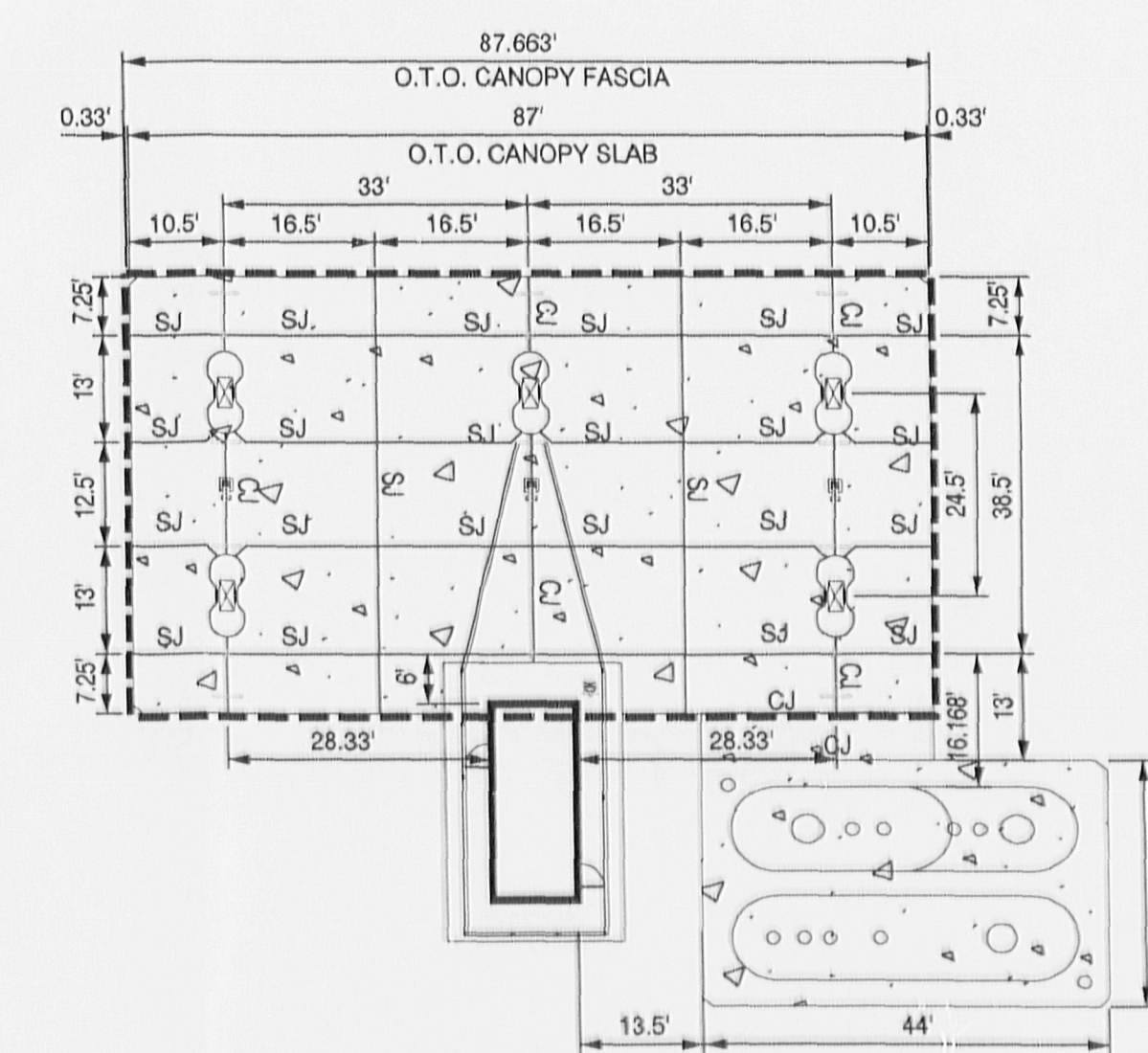
OVERALL SITE PLAN

Drawing Name:	
Date: 4/25/05	Project No. 05-0167
Type:	
Drawn By: AMF	G 2
Scale: 1" = 60'	Drawing No.



GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WERE PROVIDED BY THE FOLLOWING COMPANY AS A CONTRACTOR TO THE SELLER/OWNER.
- BOUNDARY/TOPOGRAPHY: ALTA/ACSM LAND TITLE SURVEY DATED OCTOBER 30, 2003 PREPARED BY THE ASSOCIATES, PLLC, P.O. BOX 463, 6431 US HIGHWAY 11, CANTON, NY 13617.
- B. ALL PHASES OF THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTIONS PHASES OF THIS PROJECT.
- F. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONSTRUCTION SITE.
- G. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- H. CONSTRUCTION OF THE BUILDING, UTILITY ENTRANCES, CANOPY, AND THE INSTALLATION OF THE UNDERGROUND STORAGE TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED ARCHITECTURAL PLANS.
- I. CONTRACTOR IS NOT TO START WORK UNTIL WRITTEN AUTHORIZATION FROM WAL-MART FUELING STATION MANAGER HAS BEEN CONSULTED FOR SCHEDULING AND COORDINATION.
- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE FROM DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL POWER WASH THE ENTIRE FUELING STATION AREA PRIOR TO TURNOVER TO WAL-MART.
- K. THE CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING ALL THE MATERIALS AND EQUIPMENT SUPPLIED BY WAL-MART REALTY UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY WAL-MART REALTY EXCEPT FOR THE CANOPY AND CANOPY LIGHTS.
- NOTICE TO BIDDERS
- CONSTRUCTION DEPARTMENT AT (479) 204-1500. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE CONTRACTOR. THE CONSULTING ARCHITECT AND/OR CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
- L. REFER TO ARCHITECTURAL PLANS FOR FUEL STORAGE TANK MAT DETAILS.



LEGEND:

- PROPOSED PROPERTY LINE
--- EXISTING PROPERTY LINE
--- ORANGE CONSTRUCTION FENCE
--- PROPOSED BUILDING
--- PROPOSED OVERHEAD CANOPY
--- TRAFFIC CONTROL SIGN
--- STOP BAR AND SIGN
--- PAINTED DIRECTIONAL ARROW
--- HANDICAPPED SYMBOL
--- 18" CURB AND GUTTER
--- HEAVY DUTY PAVEMENT
--- HEAVY DUTY CONCRETE PAVEMENT
--- CONFIRM W/ ARCH. PLANS

SITE LEGEND:

- (A) FUEL DISPENSOR ISLAND (REFER TO ARCH.)
(B) HOOP BOLLARD (REFER TO ARCH.)
(C) CANOPY LIMITS (REFER TO ARCH. PLANS FOR EXACT DIMENSIONS)
(D) UNDERGROUND STORAGE TANKS AND SLAB (REFER TO ARCH.)
(E) ATTENDANT KIOSK - 224 SF (REFER TO ARCH.)
(F) STRIPED AREA - SYS/4" AT 45° 2' O.C. W/ BORDER STRIPE
(G) PIPE BOLLARD (SEE DETAIL) RE; ARCH FOR DIM.
(H) SETBACKS PER ZONING ORDINANCE
(I) EMERGENCY TELEPHONE
(J) EMERGENCY SHUTOFF
(K) REMOTE VENT (REFER TO ARCH PLANS FOR EXACT SIZE, LOCATION AND DETAILS)

LOT COVERAGES:

	SQUARE FEET	PERCENT OF TOTAL AREA
BUILDING COVERAGE	224	0.5 %
PAVEMENT COVERAGE	16,660	43 %
OPEN SPACE	26,116	60 %

PAINT STRIPING LEGEND:

DYSL/4"-DOUBLE YELLOW SOLID LINE/4" WIDE
SYS/12"-SINGLE YELLOW SOLID LINE/12" WIDE

BULK DATA:

LOT AREA	REQUIRED	PROVIDED
	40,000 SF	46,510 SF
LOT WIDTH	200'	347'
SETBACKS		
FRONT	60'	133.83'
SIDE/TOTAL (*)	30'-70' TOTAL	67.10' & 35.94'
(*) IF LEASE LOT WERE SUBDIVIDED		
BUILDING HEIGHT	4' PER FOOT TO NEAREST LOT LINE, 12.5'	12.5'
FLOOR AREA RATIO	0.50	< 0.10
PARKING	NO PARKING REQUIRED PER CODE	

Revisions:	Date:
1 REVISED PER TOWN COMMENTS	5/19/05
2 REVISED PER 90% SUBMITTAL	6/15/05
3 REVISED PER BUILDING PERMIT SUBMITTAL	7/14/05
4	
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Seal	Seal
PROJECT MANAGER	DATE
PROJECT ENGINEER / ARCHITECT	DATE
PROJECT DESIGNER	DATE

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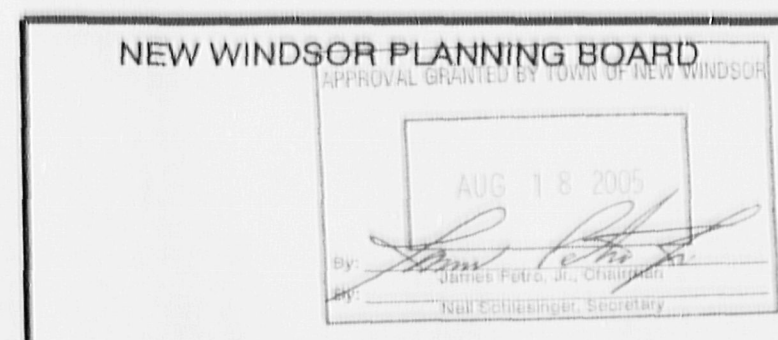
WAL-MART FUELING STATION
TOWN OF NEW WINDSOR
1201 UNION AVENUE (NYS ROUTE 300)
ORANGE COUNTY, NY

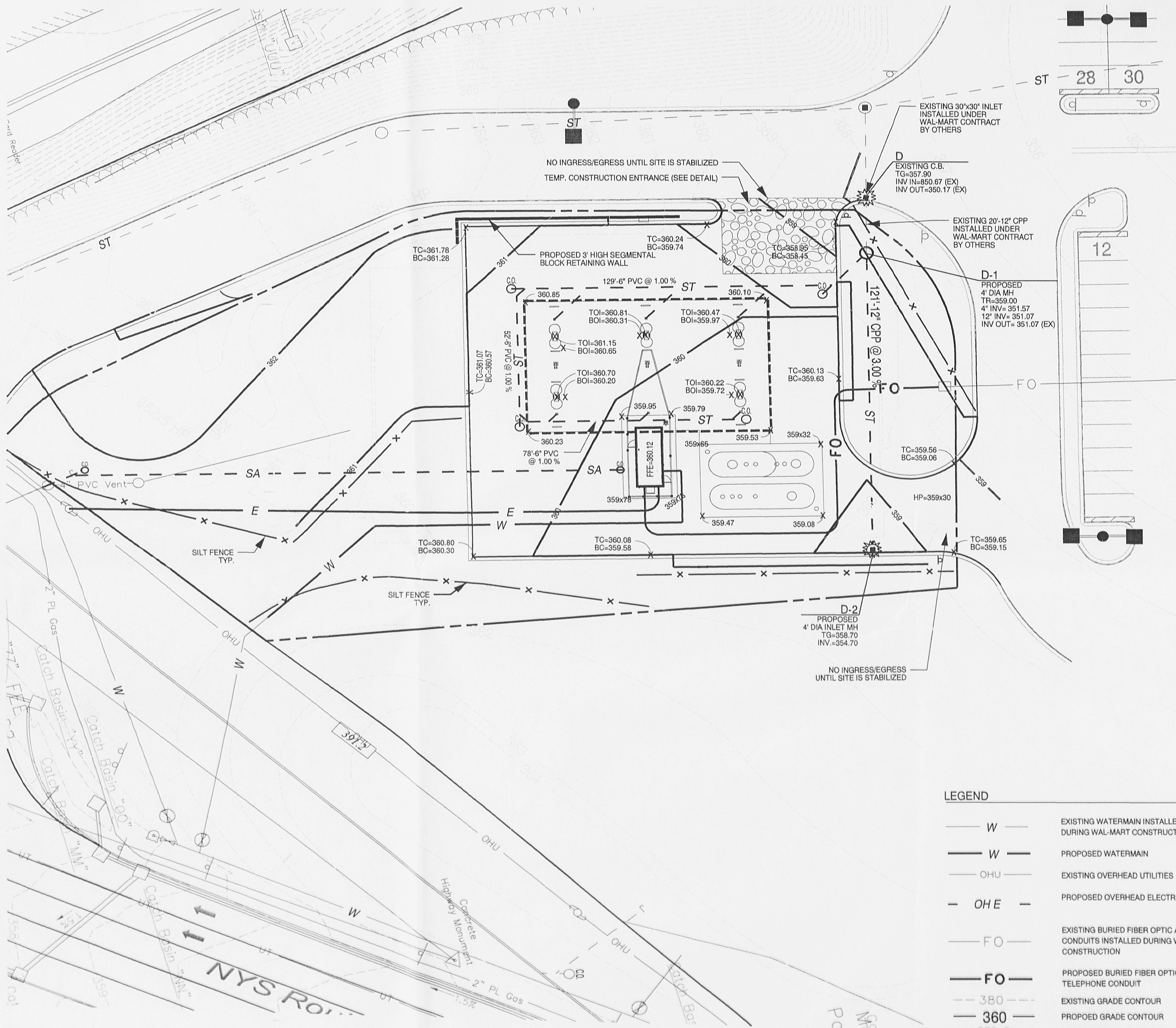
Project Name & Location:

SITE PLAN

Drawing Name:

Date: 4/25/05	Project No. 05-0167
Type:	
Drawn By: AMF	G 3
Scale: 1"=20'	Drawing No.





GRADING NOTES:

1. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT NUMBER, SIZE AND LOCATION OF THE OVERHEAD CANOPY AND ASSOCIATED CANOPY DRAINS.
2. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE CONSTRUCTION STAKEOUT ASSOCIATED WITH INSTALLATION OF ALL UTILITIES, GRADING, ETC.
3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE DURING SEEDING AND PLANTING. ANY TOPSOIL IN EXCESS OF WHAT IS REMOVED FOR LANDSCAPE OPERATION SHALL BE REMOVED FROM THE SITE.
4. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL PLANS AND SPECIFICATIONS.
5. EXISTING CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
6. PROPOSED CONTOURS SHOWN AT 1 FOOT INTERVALS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. TOPOGRAPHIC INFORMATION PROVIDED BY THE ASSOCIATES, PLLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
11. ALL SURFACED AREA DISTURBED BY GRADING SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY EROSION CONTROL MATTINGS TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DEPTH AND LOCATION OF ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND STORM DRAIN PRIOR TO CONSTRUCTION.
15. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
16. CONTRACTOR SHALL REFER TO THE SUBSURFACE EXPLORATION AND GEOTECHNICAL INVESTIGATION REPORT PREPARED BY EMPIRE GEO SERVICES, INC. DATED 1/15/04. (FOR INFORMATION ONLY)
17. SANITARY SEWER, WATER LINE, AND ELECTRICAL LEADS TO BE INSTALLED BY THE WAL-MART EXPANSION CONTRACTOR.

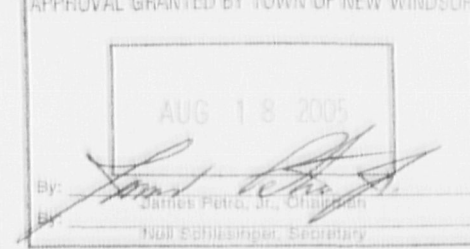
EROSION CONTROL NOTES:

1. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER DIVERSION DIKES AND PERIMETER SLOPES AND FOURTEEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
2. THE CONTRACTORS SHALL INSPECT, REPAIR AND ADD STONE TO THE STONE CONSTRUCTION ENTRANCE WHEN IT BECOMES SATURATED WITH MUD TO INSURE THAT IT WORKS AS INTENDED.
3. SILT REMOVED FROM BEHIND THE SILT FENCES SHALL BE PLACED ON THE TOPSOIL STOCKPILE.
4. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CLEANED, INSPECTED AND REPAIRED AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A 0.5" RAINFALL EVENT.
5. TEMPORARY SEDIMENT CONTROL MEASURES (SILT FENCE, CONSTRUCTION ENTRANCES, ETC) SHALL BE MAINTAINED UNTIL ALL CONTRIBUTING AREAS ARE GRADED AND STABILIZED.
6. ALL SLOPES 3:1 OR GREATER SHALL RECEIVE AN EROSION CONTROL BLANKET AND SEEDING. REFER TO SPECIFICATION 02900-PLANTING FOR DETAILS.
7. ALL DISTURBED AREAS NOT INTENDED FOR PAVING SHALL BE SEEDED PER SPECIFICATIONS.
8. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ENTERING PARKING AREA(S) OR ACCESS ROAD.
9. CONTRACTOR TO COORDINATE WITH WAL-MART CONTRACTOR AND OBTAIN A COPY OF THE S.W.P.P.P. CONTRACTOR SHALL COMPLY WITH ALL ASPECTS OF THE S.W.P.P.P.

LEGEND

— W —	EXISTING WATERMAIN INSTALLED DURING WAL-MART CONSTRUCTION	— E —	PROPOSED BURIED ELECTRIC
— W —	PROPOSED WATERMAIN	□	EXISTING STORM SEWER AND STRUCTURE
— OHU —	EXISTING OVERHEAD UTILITIES	○ — ST —	EXISTING STORM SEWER, MANHOLE, INLET MANHOLE INSTALLED UNDER WAL-MART CONTRACT
— OHE —	PROPOSED OVERHEAD ELECTRIC	○ — ST —	PROPOSED STORM SEWER, MANHOLE, INLET MANHOLE W/ INLET PROTECTION AND CLEAN OUT
— FO —	EXISTING BURIED FIBER OPTIC AND TELEPHONE CONDUITS INSTALLED DURING WAL-MART CONSTRUCTION	○ — SA —	EXISTING SANITARY SEWER AND MANHOLE
— FO —	PROPOSED BURIED FIBER OPTIC AND TELEPHONE CONDUIT	— SA —	EXISTING SANITARY SEWER INSTALLED DURING WAL-MART CONSTRUCTION
— 380 —	EXISTING GRADE CONTOUR	— SA —	PROPOSED SANITARY SEWER AND CLEAN OUT
— 360 —	PROPOSED GRADE CONTOUR		
— 359x9 —	PROPOSED SPOT ELEVATION		
— x —	SILT FENCE		

NEW WINDSOR PLANNING BOARD



PROJECT MANAGER DATE
PROJECT ENGINEER / ARCHITECT DATE
PROJECT DESIGNER DATE

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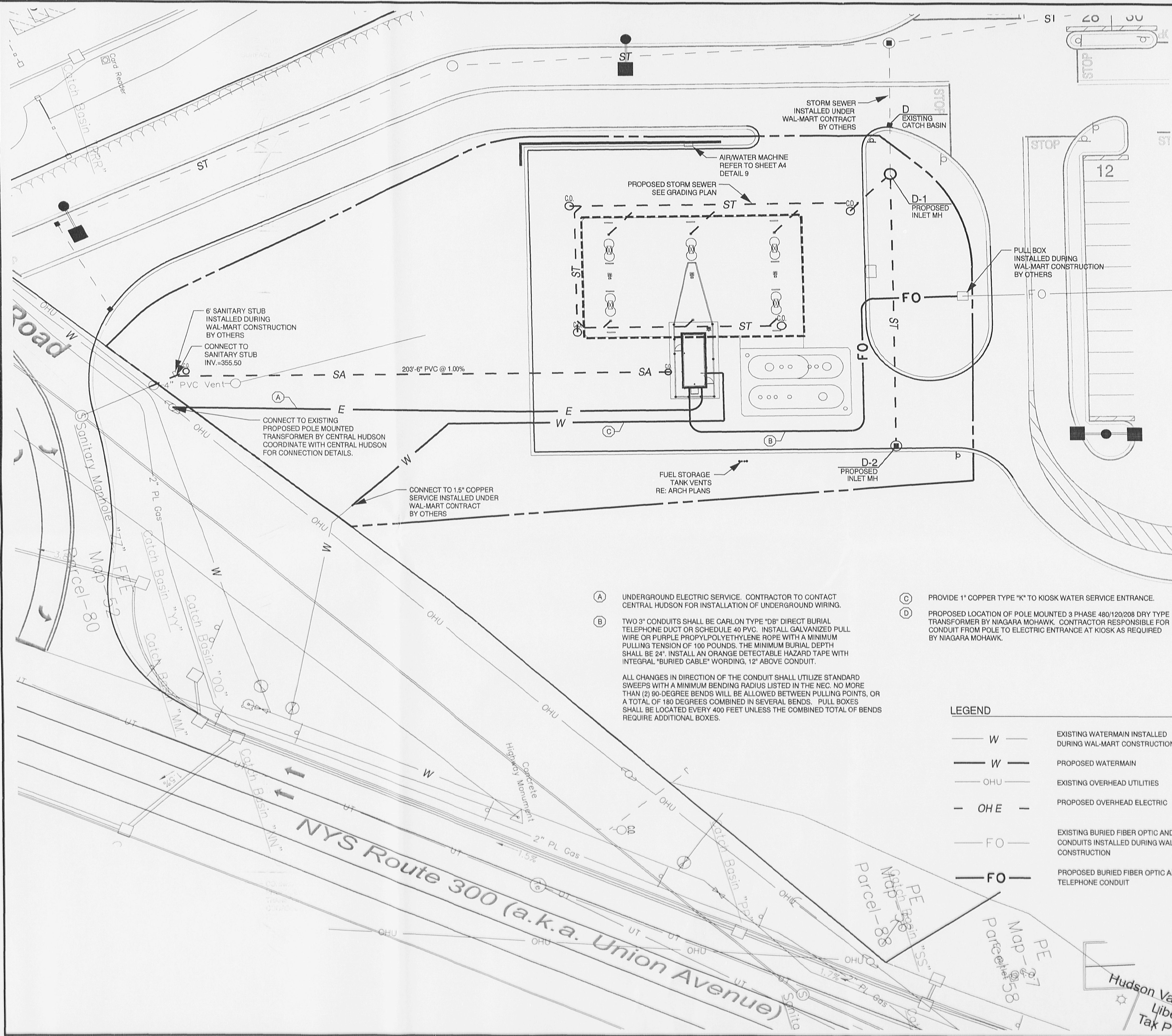
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WAL-MART
FUELING STATION
TOWN OF NEW WINDSOR
1201 UNION AVENUE (NYS ROUTE 300)
ORANGE COUNTY, NY

Project Name & Location:

GRADING PLAN

Drawing Name:	Project No.
Date: 4/25/05	05-0167
Type:	G 4
Drawn By: AMF	Drawing No.
Scale: 1"=20'	



NOTES:

- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB-OUTS" FOR FIBER OPTICS, WATER, SEWER, ELECTRIC AND TELEPHONE (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS TO THE GAS STATION SITE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE KIOSK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND WAL-MART REALTY CONSTRUCTION MANAGER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTIONS. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE, BUT ARE NOT LIMITED TO, EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE WAL-MART REALTY CONSTRUCTION MANAGER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES, INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE PLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE WAL-MART REALTY CONSTRUCTION MANAGER.
- THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT UTILITY EXIT POINTS, EXITS, ETC.
- THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES AS REQUIRED.
- THE CONTRACTOR SHALL CONFORM WITH ALL STATE, COUNTY, AND FEDERAL REGULATIONS RELATING TO THE INSTALLATION OF ALL UTILITIES.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL UTILITIES SHOULD BE KEPT 10 FEET APART (PARALLEL) OR WHEN CROSSING 18 INCH VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) UNLESS OTHERWISE NOTED.
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO BACKFILLING.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

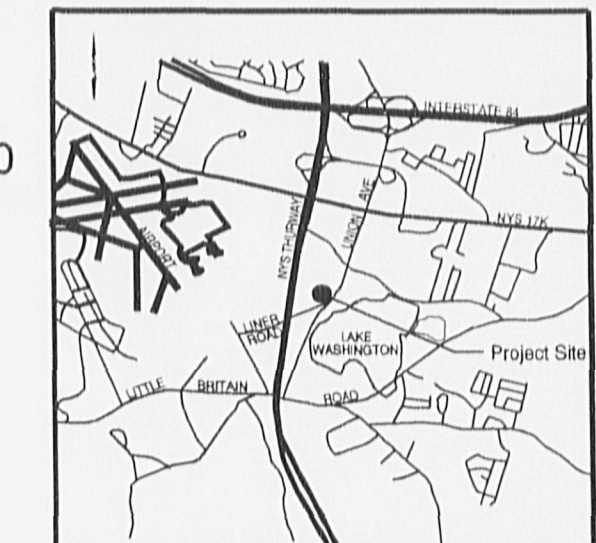
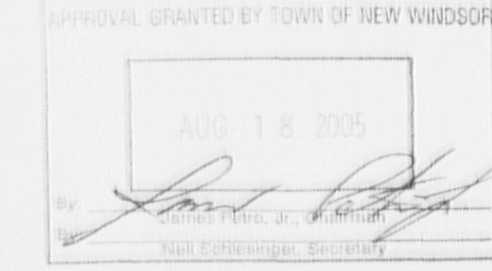
WATER AND SEWER NOTES:

- WATER LINES SHALL BE INSTALLED WITH A MINIMUM OF 60" OF COVER.
- ALL WATER LINES CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF THE TOWN OF NEW WINDSOR AND NYSDOH.
- WATER METER AND BACKFLOW PREVENTOR LOCATED WITHIN THE ATTENDANT KIOSK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ALL SANITARY SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF NEW WINDSOR AND NYSDEC.
- REFER TO TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION PERTAINING TO EXISTING SANITARY WITHIN THE R.O.W.

LEGEND

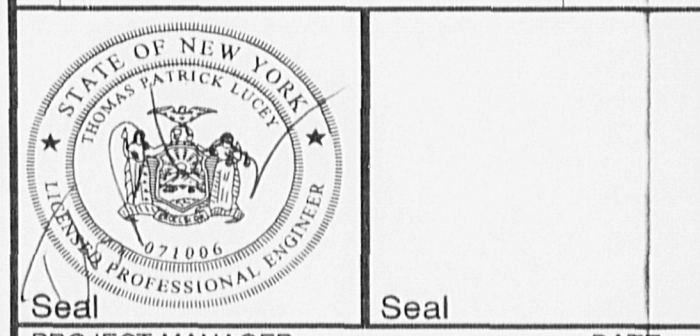
— W —	EXISTING WATERMAIN INSTALLED DURING WAL-MART CONSTRUCTION	— E —	PROPOSED BURIED ELECTRIC
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— OHU —	EXISTING OVERHEAD UTILITIES	— STC —	EXISTING STORM SEWER, MANHOLE, INLET MANHOLE INSTALLED UNDER WAL-MART CONTRACT
— OHE —	PROPOSED OVERHEAD ELECTRIC	— STC-CO —	PROPOSED STORM SEWER, MANHOLE, INLET MANHOLE AND CLEAN OUT
— FO —	EXISTING BURIED FIBER OPTIC AND TELEPHONE CONDUITS INSTALLED DURING WAL-MART CONSTRUCTION	— SA —	EXISTING SANITARY SEWER AND MANHOLE
— FO —	PROPOSED BURIED FIBER OPTIC AND TELEPHONE CONDUIT	— SA-CO —	EXISTING SANITARY SEWER INSTALLED DURING WAL-MART CONSTRUCTION
		— SA-CO-CO —	PROPOSED SANITARY SEWER AND CLEAN OUT

NEW WINDSOR PLANNING BOARD



Location Sketch
N.T.S.

Revisions:	Date:
1 REVISED PER CLIENT'S COMMENTS	5/13/05
2 REVISED PER 90 % SUBMITTAL	6/15/05
3 REV. PER CENTRAL HUDSON COORDINATION	8/11/05
4	
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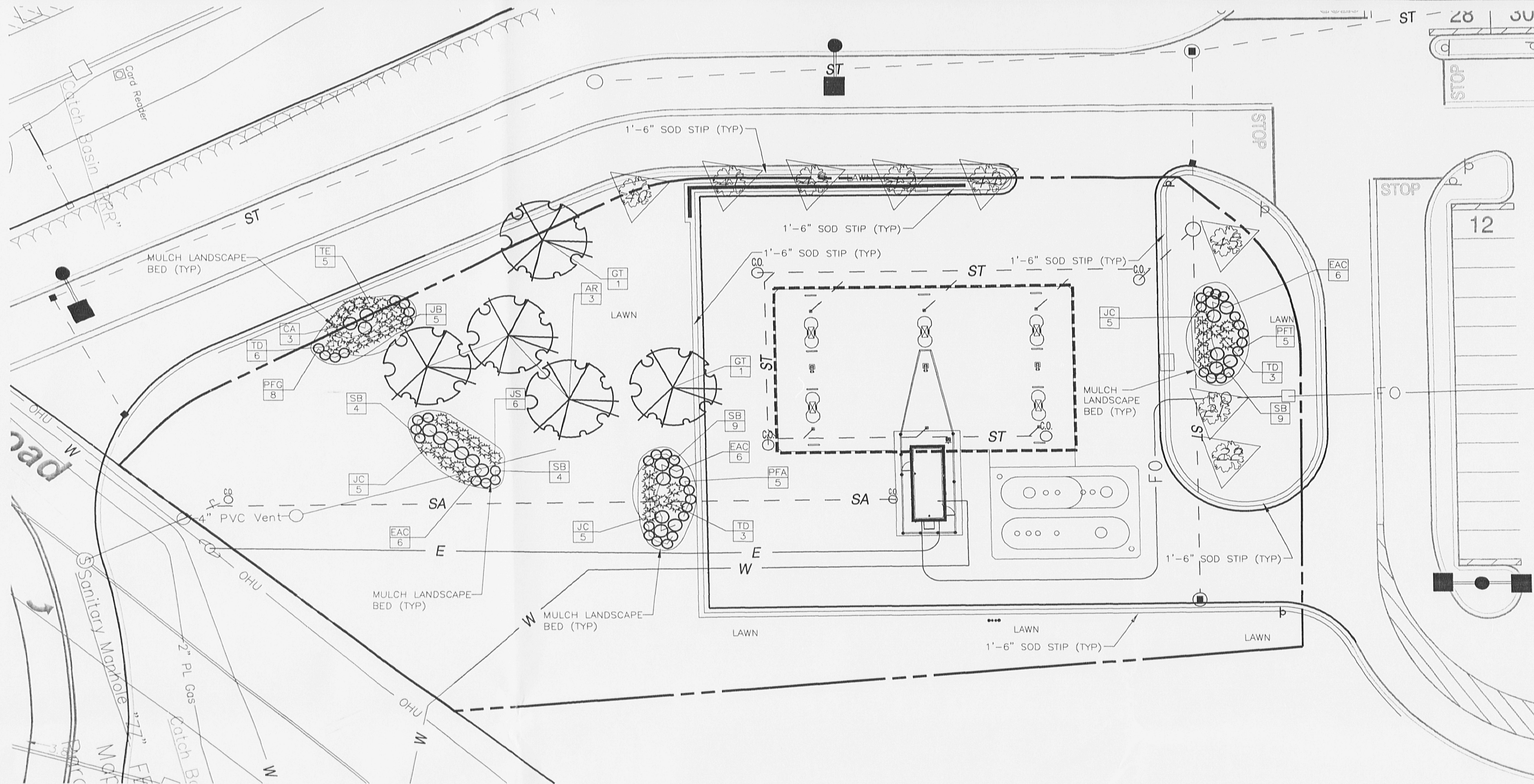
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WAL-MART FUELING STATION
TOWN OF NEW WINDSOR
1201 UNION AVENUE (NYS ROUTE 300)
ORANGE COUNTY, NY

Project Name & Location:

UTILITY PLAN

Drawing Name:	Project No.
Date: 4/25/05	05-0167
Type:	G 5
Drawn By: AMF	Drawing No.
Scale: 1"=20'	



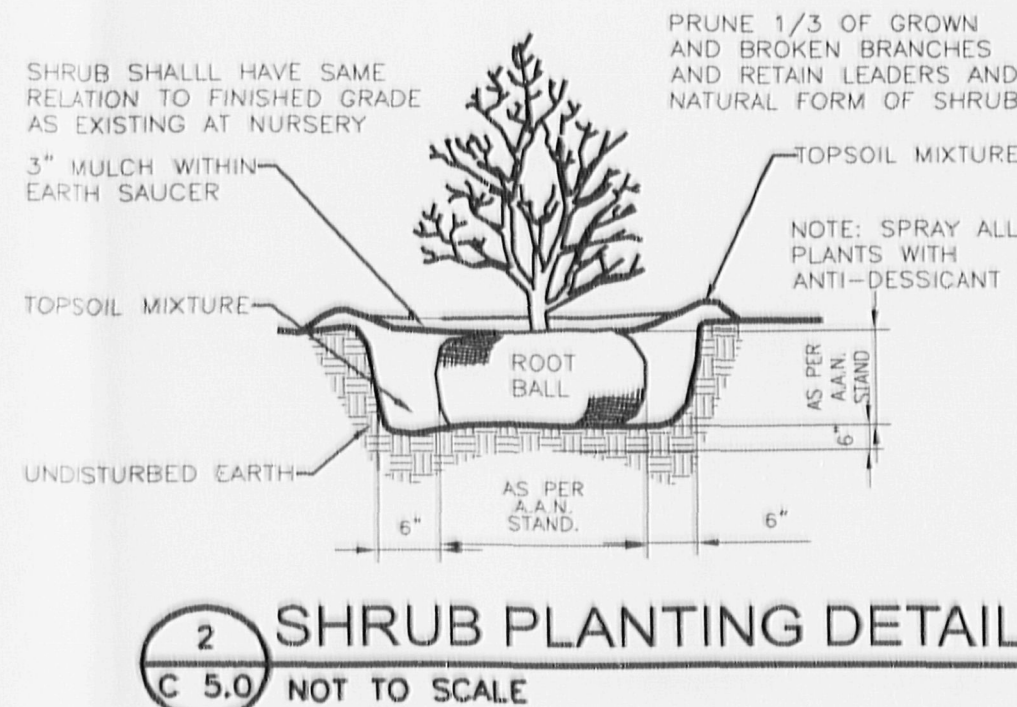
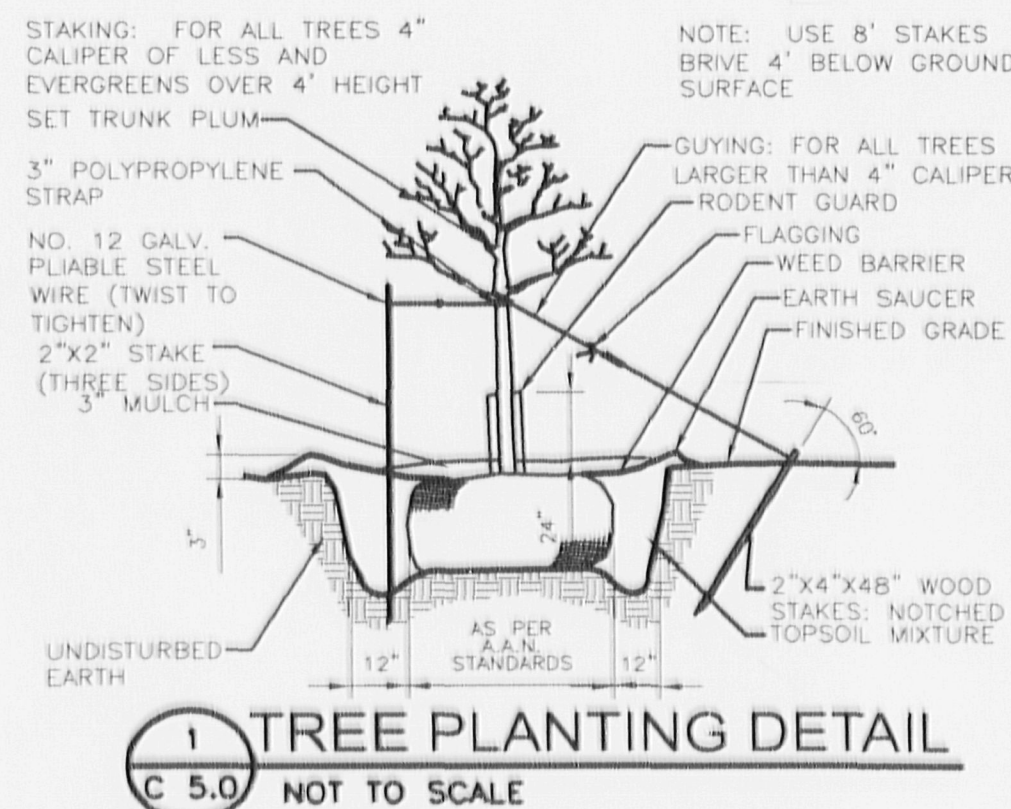
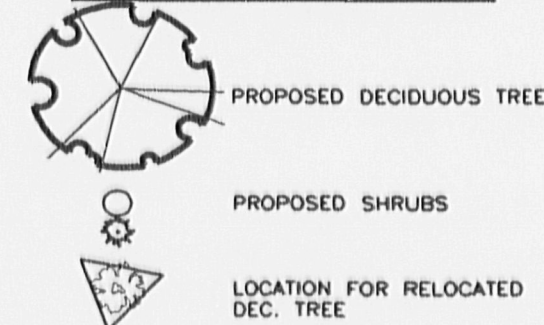
LANDSCAPE NOTES

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK BY AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
2. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, DEAD, OR DO NOT DEVELOP FROM PLANTING STOCK, OR AS DETERMINED BY THE CLIENT ARE IN UNHEALTHY OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. CONTRACTOR SHALL BEAR THE COST OF COMPLETE REPLACEMENT(S). IN CASE OF ANY QUESTIONS REGARDING THE CONDITION AND SATISFACTORY ESTABLISHMENT OF A REJECTED PLANT, THE LANDSCAPE ARCHITECT'S DECISION IS FINAL. PROVIDE A GUARANTEE FOR ALL REPLACEMENT PLANTS FOR AT LEAST ONE FULL GROWING SEASON.
3. THERE SHALL BE NO SUBSTITUTION OF PLANT MATERIALS WITHOUT THE CONSENT OF THE TOWN OF NEWBURG LANDSCAPE ARCHITECTURAL CONSULTANT. REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, AS DETERMINED BY THE CLIENT OR THE TOWN OF NEWBURG LANDSCAPE ARCHITECTURAL CONSULTANT TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.
4. CONTRACTOR SHALL NOT REMOVE NOMENCLATURE TAGS FROM ANY PLANTS UNTIL RECEIPT OF A WRITTEN INSPECTION REPORT BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURG. RETAIN FOR INSPECTION ALL TAGS AND RECEIPTS FOR PLANT MATERIAL. PLANTING MATERIALS SHALL BE MADE AVAILABLE IN ORIGINAL PACKAGING AND LABELING FOR INSPECTION PRIOR TO INSTALLATION.
5. SHRUBS SHALL MEET THE REQUIREMENTS FOR HEIGHT INDICATED IN THE PLANT LIST. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP BRANCHES OF THE PLANT, AND NOT THE LONGEST BRANCH. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED. SIDE BRANCHES SHALL BE GENEROUS, WELL TWIGGED, AND THE PLANT AS A WHOLE WELL SEATED IN THE GROUND. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.
6. PLANTED AREAS WILL BE INSPECTED AT COMPLETION OF INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS. INSPECTION TO DETERMINE FINAL ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CLIENT AND THE TOWN OF NEWBURG LANDSCAPE ARCHITECTURAL CONSULTANT. UPON CONTRACTOR'S REQUEST, PROVIDE NOTIFICATION AT LEAST 10 WORKING DAYS BEFORE REQUESTED INSPECTION DATE. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION. UPON FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE.
7. TWO YEAR GUARANTEE SHALL BE PROVIDED ON ALL NEW AND RELOCATED PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE TO THE OWNER. THE CONTRACTOR SHALL PROVIDE A WRITTEN REPORT TO THE LANDSCAPE ARCHITECT AT THE NOTIFICATION OF COMPLETION OF WORK AS WELL AS IN THE SPRING AND IN THE FALL OF EACH YEAR FOR TWO YEARS. ANY PLANT FOUND DEAD, POOR IN HEALTH OR SHAPE SHALL BE REPLACED WITHIN TWO MONTHS OF SUBMISSION OF THE INSPECTION REPORT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
9. THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKE OUT OF ALL PLANT MATERIAL AND SHRUB BEDS. CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLAN CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
10. NAMES OF WOODY PLANT MATERIAL SHALL COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.
11. THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST AND HE SHOULD OBTAIN CURRENT UTILITY RECORD MAPS AND NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK.
12. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO MIN. OF 5' FROM ROOT BALL TO UTILITIES.
13. SHOULD LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO MIN. OF 20' TO WIRES.
14. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. STAKES AND WRAPPING ARE TO BE REMOVED BY THE CONTRACTOR AT THE END OF THE GUARANTEE PERIOD.
15. MULCH ALL BEDS WITH 3 INCHES DOUBLE GROUND HARDWOOD BARK MULCH. COLOR TO BE CHOSEN BY LANDSCAPE ARCHITECT.
16. PLANTING BACK FILL MIXTURE: 3 PARTS TOP SOIL; 1 PART WELL ROTTED MANURE OR COMPOST; 10 LBS. 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
17. TOP SOIL SHALL BE FURNISHED FROM THE STOCKPILE, ON-SITE MATERIAL. IF ANY INSUFFICIENT QUANTITY EXISTS, FURNISH FROM OFF-SITE SOURCES IN QUANTITIES SUFFICIENT TO COMPLETE THE REQUIREMENTS AS SPECIFIED. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE SOIL, CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLY FREE FROM STONES, CLAY LUMPS, ROOTS AND OTHER FOREIGN MATTER WITH AN ACIDITY BETWEEN 6.0 AND 6.8 PH. PROPOSED TOPSOIL MATERIAL FROM OFF-SITE SOURCES SHALL BE SUBJECT TO APPROVAL BY THE TOWN'S LANDSCAPE ARCHITECTURAL CONSULTANT.
18. A MINIMUM OF 6" OF TOPSOIL SHALL BE PROVIDED ON ALL AREAS TO BE SEED.
19. LANDSCAPE MATERIALS SHALL BE INSTALLED BY LOCAL COMPANIES FAMILIAR WITH THE CONDITIONS IN THIS AREA THAT EMPLOY NYS CERTIFIED NURSERY PROFESSIONALS.
20. STACK PLANTS AS INDICATED OR AS APPROVED IN THE FIELD. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED PLANTING OPERATIONS UNTIL ALTERNATIVE PLANT LOCATIONS HAVE BEEN SELECTED.
21. MAINTAIN PLANTS UNTIL COMPLETION AND FINAL ACCEPTANCE OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PRUNING, CULTIVATING, EDGING, REMULCHING, FERTILIZING, WEEDING, WATERING AS REQUIRED FOR HEALTHY GROWTH, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECT AND DISEASE. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND REMOVE DEAD MATERIAL. TIGHTEN AND REPAIR GUIDE WIRES AND DEFICIENCIES WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.
22. LAWN SEED MIXTURE - APPLY TO ALL AREAS NOT PAVED, PLANTED, DESIGNATED TO REMAIN NATURAL OR OTHERWISE SEED. MIX SHALL CONSIST OF THE FOLLOWING:

	% WEIGHT	% PURITY	% GERMINATION
PENNINE PERENNIAL RYE GRASS	50	85	85
COMMON KENTUCKY BLUEGRASS	30	97	80
PENNLAWN RED FESCUE	20	85	80

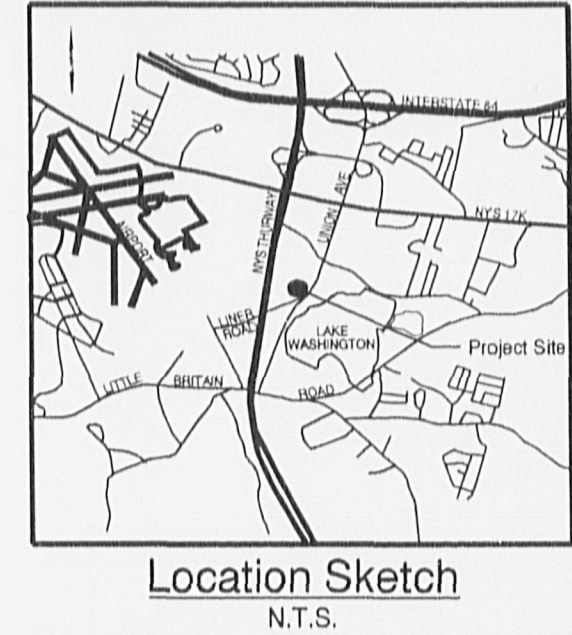
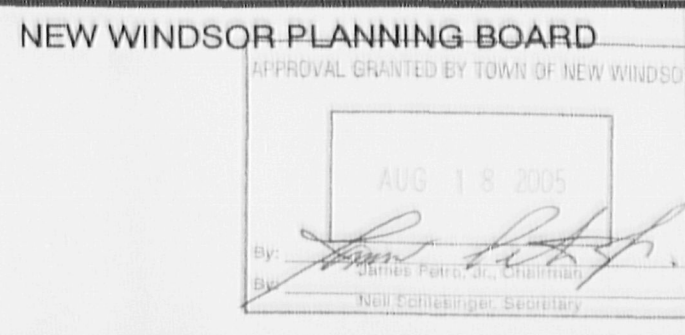
SEEDING RATE: 200 LBS. PER ACRE
FERTILIZER: 10-10-10 RATE: 1,000 LBS. PER ACRE
MULCH ALL SEEDED AREAS WITH APPROVED STRAW AT A RATE OF 4,000 LBS. PER ACRE.
23. THERE SHALL BE A 1'-6" WIDE SOD STRIP BEHIND ALL CURBED AREAS THAT HAVE LAWN.
24. ANTIDESICANT: PROTECTIVE FILM EMULSION, PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES, BUT PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS. APPLY TO ALL BROADLEAF EVERGREEN SHRUBS PER MANUFACTURE'S RECOMMENDATIONS.
25. NO IRRIGATION SYSTEM REQUIRED.

LANDSCAPE KEY



PLANT LIST									
QUANT.	KEY	LATIN NAME	COMMON NAME	CAL.	ROOTS	HT. OR	SPREAD	REMARKS	
3	AR	Acer rubrum 'October Glory'	October Glory Red Maple	2-2 1/2"	B&B	14-18' HT.			
2	GT	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2-2 1/2"	B&B	14-18' HT.			
18	EAC	Euonymus alata 'Compacta'	Dwarf Burningbush		B&B	24" MIN.		5' O.C.	
5	PFA	Potentilla fruticosa 'Abbottswood'	Abbottswood Potentilla		#2 cont.	18" MIN.		3' O.C.	
5	PFT	Potentilla fruticosa 'Tangerie'	Tangerie Potentilla		#2 cont.	18" MIN.		3' O.C.	
6	PFG	Potentilla fruticosa 'Goldstar'	Goldstar Potentilla		#2 cont.	18" MIN.		3' O.C.	
28	SB	Spiraea x bumalda 'Gold Flame'	Gold Flame Spiraea		#2 cont.	18" MIN.		3' O.C.	
6	JS	Juniperus chinensis 'Spartan'	Spartan Juniper		B&B	24" MIN.		4' O.C.	
15	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper		#3 cont.	24" MIN.		4' O.C.	
5	JB	Juniperus sabinia 'Buffalo'	Buffalo Juniper		B&B	24" MIN.		4' O.C.	
12	TD	Taxus x media 'Densaformis'	Dense Yew		B&B	24" MIN.		5' O.C.	
5	TE	Taxus x media 'Everlow'	Everlow Yew		B&B	24" MIN.		4' O.C.	
3	CA	Cotoneaster apiculata	Cranberry Cotoneaster		#2 cont.	18"		3' O.C.	

LEGEND: B & B Balled & Burlapped Sp. Spread #2 2 Gallon Container Spr. Spring Planting Only
BR Bare Root Ht. Height Cal. Caliper O.C. On Center * Branching 8' Min. above pavement



Revisions:		Date:
1	ADDED ADDITIONAL LANDSCAPING PER TOWN REQUEST	5/19/05
2	REVISED PER 90 % SUBMITTAL	6/15/05
3	REVISED PER BUILDING PERMIT SUBMITTAL	7/14/05
4		
5		
6		
7		
8		
9		

Seal	Seal
PROJECT MANAGER	DATE
PROJECT ENGINEER / ARCHITECT	DATE
PROJECT DESIGNER	DATE

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WAL-MART FUELING STATION
TOWN OF NEW WINDSOR
1201 UNION AVENUE (NYS ROUTE 300)
ORANGE COUNTY, NY

Project Name & Location:	
LANDSCAPING PLAN	
Drawing Name:	
Date: 5/17/05	Project No. 05-0167
Type:	G 6
Drawn By: AMF	Drawing No.
Scale: 1"=20'	

